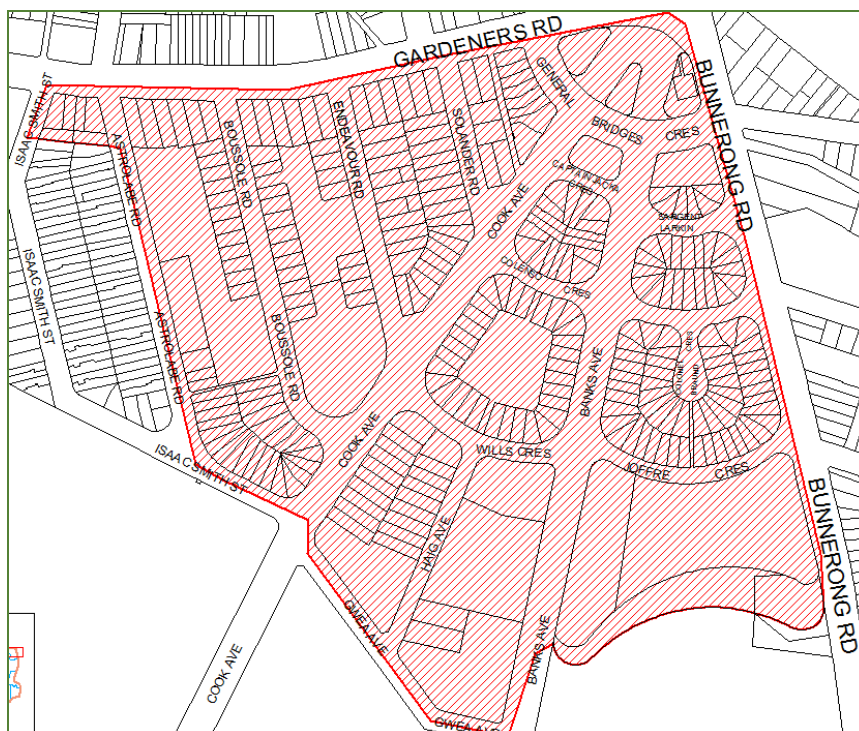




3B. 4.2 Daceyville Garden Suburb Heritage Conservation Area

Figure 23 - Daceyville Garden Suburb Heritage Conservation Area



Description of Daceyville Garden Suburb Heritage Conservation Area

Daceyville is one of the most important urban areas in Australia. The suburb was the first attempt by a State Government to comprehensively design and develop a “Garden Suburb”. Daceyville was the first garden suburb to be designed and developed in Australia and as such it represents an important stage in the design and development of Australia’s Cities and suburbs.

In order to retain the heritage significance of the Daceyville HCA it is important that alterations, additions and new buildings, do not adversely affect the heritage significance of adjoining heritage items or obscure the view of the item from the public domain.

Buildings in the HCA have been constructed in a variety of external materials, finishes and colours characteristic of particular architectural styles, building types or periods of construction. The use of modern materials and finishes may be appropriate for new development, alterations and additions provided it does not compromise a cohesive relationship between new and existing urban fabric.



Significance of Daceyville Garden Suburb Heritage Conservation Area

Daceyville is culturally significant and is an important example of the Garden Suburb as developed in Australia. Its significance is summarised as follows:

- (i) Daceyville is the first example of a Garden Suburb developed in New South Wales;
- (ii) Daceyville is an important part in the evolution of the development of the Garden Suburb in Australia;
- (iii) Daceyville is able to demonstrate “modern” design philosophy in response to the physical and social conditions of the 19th Century inner cities in Australia;
- (iv) Daceyville is an important step in the development of Garden Suburb Principles and their application in the development of Australian cities and suburbs;
- (v) Daceyville is a relatively homogenous federation period of social housing development;
- (vi) Daceyville contains the first cul-de-sac layout designed by a public authority in Australia;
- (vii) Daceyville provides important evidence on the development of Bayside; and
- (viii) Daceyville was designed as a serviced suburb, having community facilities located within distance of residential amenities.

The Daceyville Garden Suburb is considered to be one of the most important urban areas in Australia. The report *‘Daceyville Garden Suburb a report for Daceyville Heritage Conservation Area within its Historical Context’* dated 2002 contains additional information on the history of Daceyville and is available from Council.

Objectives

- O1** To retain the significance of the Heritage Conservation Area;
- O2** To retain the historically based subdivision patterns of the Heritage Conservation Area; and
- O3** To ensure that subdivisions or site amalgamations will not lead to adverse impacts on the curtilages or settings of significant buildings.

Controls

- C1** Development is to be designed so that it has no adverse impact on a Heritage Conservation Area or its setting or curtilage.
- C2** The predominant historical pattern of subdivision and lot sizes is to be retained. Subdivision or amalgamation will not be permitted where the setting or curtilage of buildings on or adjoining the site would be compromised. A Heritage Impact Statement or a Conservation Management Plan will be required to be lodged with the Development Application for subdivision.
- C3** Where lots are amalgamated, the demolition of significant items on the original lots will not be permitted.
- C4** Public lanes and public pedestrian passageways are not to be amalgamated with private land.



3B.4.2.1 Building Location and Built Form

This section applies to additions and to infill or replacement development, hereafter nominated as new development.

The siting and alignment of buildings are important characteristics of Daceyville. In most streetscapes there is a consistent pattern of similar setbacks from the street and from side boundaries. Good development results in new structures that complement and enhance the existing character of the area.

Compared with significant items, there is greater scope for design flexibility with new buildings or additions to non-contributory buildings provided the proposed work would not detract from the significance or character of the streetscape or the Heritage Conservation Area generally. Where alterations or additions are not visible from the street or other public places, the style is less important; for example, a contemporary design may be appropriate for a new detached pavilion to the rear of an existing house.

The height, bulk and scale of new development have the potential to adversely affect the amenity of private and public lands. The controls are designed to ensure that the scale and bulk of new building is compatible with site conditions and the desired future character of the Heritage Conservation Area.

Objectives

- 01** To ensure that the siting, levels, and front, side and rear building setbacks of additions and infill development continue the established historical pattern of development;
- 02** To locate front, side and rear building alignments of infill development to ensure good aspect and orientation of indoor and outdoor living areas and the retention of existing trees;
- 03** To encourage the retention or creation of useful open space at the rear of sites;
- 04** To protect existing significant trees;
- 05** To retain the patterns of height, bulk and scale distinctive to individual streetscapes and the HCA;
- 06** To protect existing views and vistas from streets and other public places;
- 07** To provide additional views and vistas from streets and other public places when opportunities arise;
- 08** To minimise over-shadowing of private and public open spaces; and
- 09** To achieve external materials, finishes and colour schemes appropriate to the context.



Controls

Building Location

- C1** Where there are uniform levels or setbacks within the streetscape, infill development is to be consistent with the levels and setbacks of the adjoining buildings.
- C2** Where front building setbacks vary:
 - (i) If there is a dominant pattern adjoining, new development is to align with that pattern;
 - (ii) If there is an existing stepped pattern, new development is to align with that pattern;
 - (iii) Transitional front setback between adjoining properties;
 - (iv) If there is no predominant pattern, new development is to align with the existing adjoining development;
 - (v) The proposed development is to be compatible in scale to that of surrounding development;
 - (vi) A transitional setback between the properties on either side; or
 - (vii) If new development occurs on a corner site, it is to be built up to the street alignments to define the corner unless this interferes with views to or from the public domain or is inconsistent with the streetscape or precinct, or inhibits the visibility of and for pedestrians or vehicles.
- C3** Where adjoining buildings have been aligned to face a view rather than the street, new development is to adopt this orientation.
- C4** The proportion of site cover is to be no greater than that of adjoining properties.

Carports and Hardstands

- C5** Suitably designed lightweight, carports are permitted to the side of early Garden Suburb housing, provided they are located behind the front building setback and only where they are designed and constructed so as to not have a negative impact on the character of the early Garden Suburb house.
- C6** Hardstands are only permitted in front of the front building setback where Council deems that they are designed with minimal negative impact on early garden suburb design features that may be found in the front yard. For example, tinted paths, plinths, and trees.



Building Height, Form, Bulk, Scale and Character

- C7** The character of new development is to be consistent with the height, bulk, scale, dominant roof forms, ridge line and building envelope of the HCA.
- C8** The bulk of new buildings should be distributed to minimise overshadowing of adjoining properties. In circumstances where the infill site adjoins a prominent building or a building of excessive height or intrusive design, conformity is not appropriate.
- C9** Storey heights must conform to those of adjacent significant buildings and comply with BBLEP 2013.

Materials, Finishes and Colours

- C10** Materials, finishes, textures and colours must be appropriate to the building type and style and HCA.

Note: They must be similar to, but should not copy, the characteristic materials, finishes, textures and colours of the significant buildings within the streetscape. Contemporary materials may be used where their proportions, detailing and quantities are consistent with the existing and Desired Future Character of the precinct.

- C11** External detailing, colour and finishes must minimise the apparent bulk of new development.



3B.4.2.2 Fences, Gates and Retaining Walls

Carefully designed fences and walls help to integrate developments into the existing streetscape. Tall blank fences facing the street are particularly unsympathetic as they separate the house from the public domain and have an adverse impact on the streetscape and the Heritage Conservation Area.

Objectives

- O1** To protect against the introduction of front fencing;
- O2** To promote the re-instatement of appropriate side post and wire mesh fences;
- O3** To prohibit out-of-scale or inappropriately designed fencing; and
- O4** To maintain the existing design and character of post boxes.

Controls

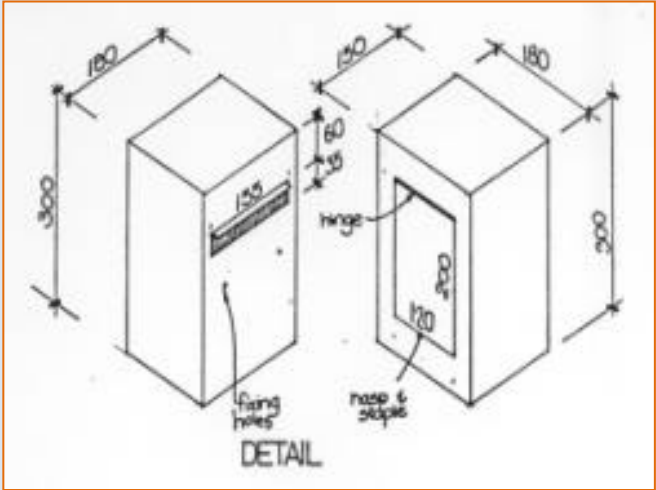
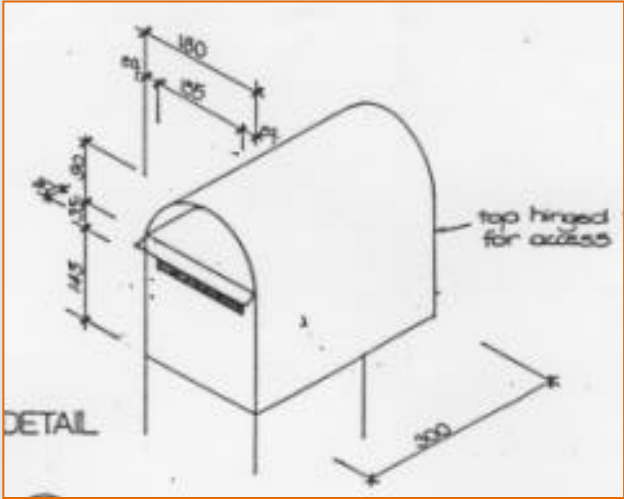
Fences

- C1** The introduction of front fences is not permitted.
Note: Front timber and mesh wire fences are permitted along Gardeners Road and must maintain a consistent height.
- C2** Existing timber and mesh wire fences (front, rear and side fences) must be retained.
- C3** The replacement or re-instatement of rear fences must be consistent with the scale and materials of adjoining properties.
Note: Such fences typically consist of paling style fence of timber materials with a maximum height of 1.8 metres.

Letterbox

- C4** The introduction of various styles of letterboxes is not permitted.
- C5** Designs must be similar to **Figure 24**.

Figure 24 - Examples of Original Letterboxes





3B.5 Ground Floor Additions to Dwelling Houses

This section applies to ground floor additions to dwelling houses on a Heritage Item or in a Heritage Conservation Area.

Maintaining the character of the streetscape is important in maintaining the integrity of a Heritage Item and a Heritage Conservation Area. Maintaining the scale of development relative to the street and adjoining properties is one way of maintaining heritage values. Appropriate additions can be achieved for single-storey dwellings through additions at the rear or side at ground level.

Objectives

- O1** To establish suitable building envelopes for additions to single-storey whether row, semi-detached, terraced buildings;
- O2** To ensure that the front elevations, façades and roof forms are not disturbed by inappropriate ground floor additions; and
- O3** To maintain key rooflines.

Controls

- C1** Design features and materials on the front and side elevations, which are visible from the street must not be disturbed.
- C2** Ground floor additions must be sited to the rear or to any non street-fronted elevations.
Note: Extensions, alterations and additions to the front elevations of Heritage Items are discouraged, as they disrupt the established pattern of development within the street.
- C3** Ground floor additions must not project beyond the established building lines of the building.
- C4** Ground floor additions must be consistent with the existing scale and form of the building and surrounding area (refer to **Figure 25** to **Figure 30**).
- C5** The form, character, treatment and materials must be incorporated into the design of the ground floor addition.
Note: Complementary designed alterations/extensions shall be permitted.
- C6** Wing additions to the side or rear of a property should avoid disrupting street elevations.
Note: Wing additions should complement the main rooflines, and not dominate the existing roof. Relief may be achieved by setting back the extension or by projecting it forward.
- C7** A verandah addition should be used to sympathetically relate a new addition to an existing house, whilst also relieving bulk.

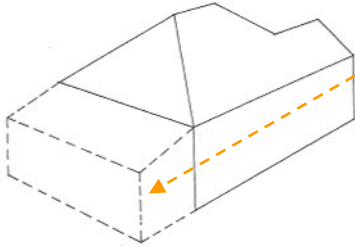


Figure 25 - Skillion addition located to the rear of a single-storey dwelling.

- Common type of addition with its own lower distinctive roof plan.
- Maintains similar building height, where it adjoins host building.
- Does not go beyond the established building lines.
- Suitable for all lot types.

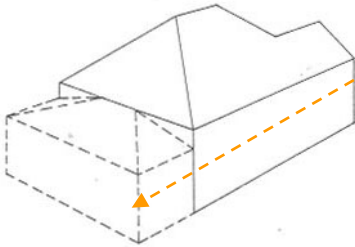


Figure 26 - Hipped addition located to rear or side of dwelling.

- Common form of rear addition.
- Retains lower independent hipped roof plan.
- Lower wall height to host building.
- Maintains established building line.
- Suitable for detached buildings, or corner lots.

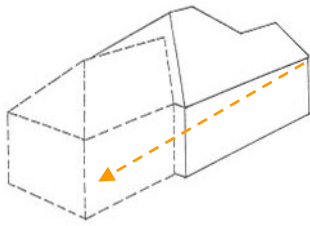


Figure 27 - Hipped addition located to rear or side of dwelling.

- Common form of rear addition.
- Retains lower independent hipped roof plan.
- Lower wall height to host building.
- Maintains established building line.
- Suitable for detached buildings, or corner lots.

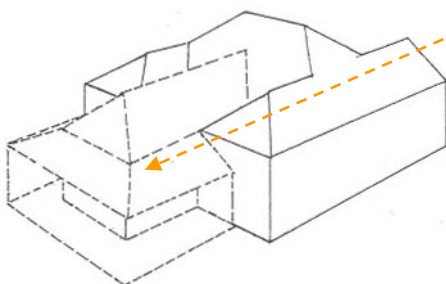


Figure 28 - More complex rear addition

- Complex half-hipped roof plan, can only be facilitated where the addition does not negatively impact on the elevations to which it is attached.
- Where possible impacts arise, Figures 25 to 27 should be considered.

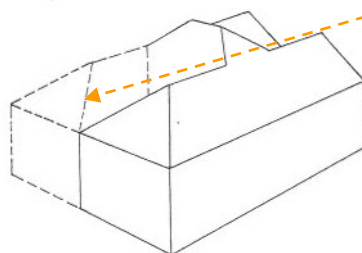
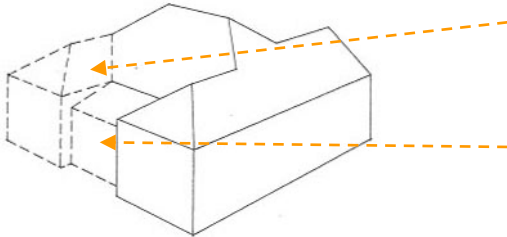


Figure 29 - More complex rear addition

- Maintains established building alignment.
- Care must be taken that this does not occur to the front or street facing elevation.
- Roof ridge height must not exceed ridge height of host building.
- Can be located on corner lots.

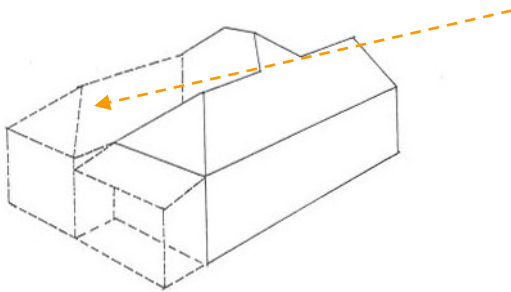


Figure 30 - Multiple additions, which can be facilitated to rear or side elevation



- This addition brings uniformity of character to the host building as it mirrors an existing projection within the building plan.
- Typical skillion addition, which is subservient in scale to the heritage building.
- Must not impact on significant elevations

Figure 31- Multiple additions, which will only permitted where it does not impact on the heritage significance of the building.



- This addition extends beyond the established building line and will only be permitted under exceptional circumstances.

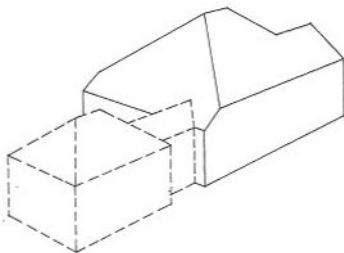


Figure 32 - Links can be used to connect the host building to the additions

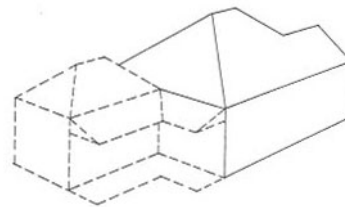


Figure 33 - A ground floor addition having skillion verandah attached.



3B.6 First Floor Additions to Dwelling Houses

This section applies to first floor additions to dwelling houses on a Heritage Item or in a Heritage Conservation Area.

There are many two-storey Heritage Items within Bayside, which include residential and commercial properties. First floor additions to single-storey Heritage Items pose special design problems. First floor additions and extensions will only be considered by Council in streets that currently have a mix of one and two storey developments. First floor additions should be undertaken at the rear of properties and by conserving existing rooflines and roof patterns.

Objectives

- O1** To ensure that first floor additions and extensions are designed and sited appropriately so as to complement the architectural merit and heritage significance of the dwelling and surrounding area;
- O2** To conserve and maintain the main roof-plan characteristics through conserving rooflines, roof forms and roof volumes; and
- O3** To conserve the character of streetscapes by maintaining the single-storey nature of residential areas and only permitting first floor additions in those areas that have a pre-existing mix of one and two-storey developments.

Controls

- C1** First floor additions are only permitted in areas or streets that have a pre-existing mix of single and two-storey developments.
- C2** New additions must maintain the perceived scale and character of the building and the immediate streetscape.
- C3** First floor additions must be located at the rear or side of properties.
- C4** Additions shall always be located behind the main gable or hipped roof feature of the street frontage.
- C5** First floor additions are only permitted where they incorporate a transition (in the form of a link) from the single-storey scale of the original building (host building) to the two-storey scale of the new structure at the rear (refer to **Figure 34**).

Note: Transitions between single and two-storey extensions may be achieved through using the roof plan, which steps up progressively, or spaces or voids, which help to separate building elements with different height.

Note: Alternatively, additions should be sited within the roof space.



- C6** The height of an addition or extension must be below the ridgeline of the roof of the existing building.

Note: The height of the wall of an extension, alteration or addition to the rear of a two or three-storey terrace must be below the gutter line of the main roof of the existing building.

- C7** First floor additions must adopt the roof pitch of the original building and be in the form of a gable end.

- C8** First floor additions must:

- (i) Not dominate or otherwise adversely compete with the form, height, proportions and the scale of that part of the building, which is to be retained;
- (ii) Not reproduce or match a building which in terms of its height, bulk, scale and detailing is inappropriate to the heritage character of the area;
- (iii) Retain traditional solid to void ratios on elevations visible from the public domain;
- (iv) Not employ large areas of glass on the upper level;
- (v) Be designed to minimise or avoid an adverse impact on neighbouring properties in terms of overlooking, loss of sunlight and ventilation; and
- (vi) Not extend beyond the established building lines in a group or row of terraces.

- C9** Dormer windows are not permitted in the primary roof fronting the street for single storey terraces and row houses unless it forms part of the original design of the building typology.

- C10** Where suitable roof space is available, additional floor space can be accommodated as attic rooms providing the dwelling meets with relevant habitation requirements.

Terraces, Row Houses and Semi Detached Dwellings

- C11** First floor additions are unsuitable for single-storey terraces or row houses. Additions to these buildings should be undertaken at the rear of properties or within roof spaces.

- C12** Extensions, alterations and additions to a terrace, which is one building within a terrace, shall be designed with regard to the overall balance of the group in terms of height, alignment, form, scale and architectural character.

- C13** Any alteration and addition to an identical semi or terrace building must recognise it as being one pair or group of similar, identical or complementary buildings and be carefully integrated with the building to which it is attached, both in its present form and on the assumption that the owner may wish to undertake extensions in the future.

- C14** First floor additions to semi-detached dwellings or terraces, which have not been appropriately setback, will not be permitted due to the negative impact it creates on both buildings and the streetscape character.

Note: Single-storey extensions sited to the rear of the property shall be considered a more



appropriate development option for such buildings.

Workers Cottages

Inter-War workers cottages located on small lot subdivisions.

- C15** First floor additions are permitted to the rear of worker cottages if the addition is appropriately set back from the street.

Note: Good design techniques must be employed to ensure that the addition does not dominate the original building.

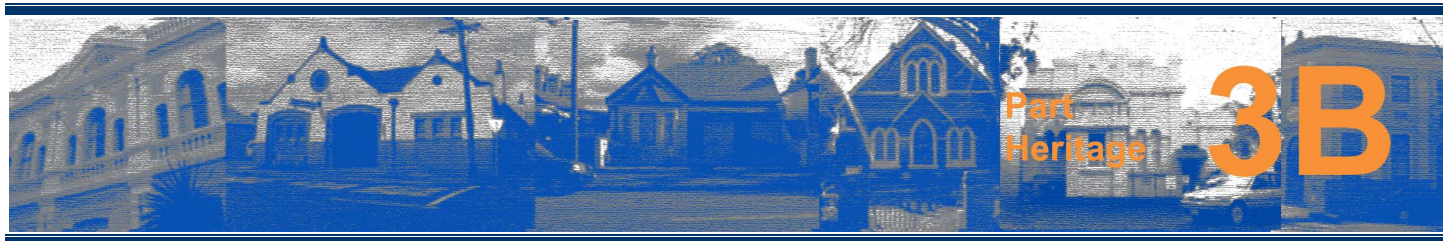
Figure 34 - Example of First Floor Addition



Note: How a first floor addition has been placed to the rear of the building, below the ridgeline of the original roof. A dormer window has also been inserted to the front plane of the roof plan. This is deemed inappropriate and will not be permitted for elevations, which front the street.

Figure 35 - Example of Unsuitable First Floor Additions





3B.7 Development in the Vicinity of Heritage Items or Heritage Conservation Areas

This section applies to sites that adjoin or are in the vicinity of a Heritage Item or a Heritage Conservation Area. It provides controls to ensure that new work is sympathetic to the heritage significance of nearby Heritage Items or an adjoining Heritage Conservation Area.

The following objectives and controls aim to ensure that new and infill development complements and is sympathetic to Heritage Items by establishing urban design principles that need to be taken into account for protecting the settings of Heritage Items and the character of the streets in which they are located.

3B.7.1 General Requirements

Various terms such as, massing, scale, proportion, rhythm, symmetry and articulation are used to describe a building's architectural style and form. Buildings with consistent massing, scale and siting play an important part in the definition of streetscapes and the underlying character of an area.

The heritage significance of Heritage Items and Heritage Conservation Areas can be affected by inappropriate development on adjoining lots or in the *vicinity* of a Heritage Item where there are changes in the pattern and scale of development within a street. According to the NSW Heritage Office's definition *vicinity* may be understood to mean *surroundings, context, environment or vicinity of a Heritage Item*.

Where new or infill development is proposed, and it is in the vicinity of a Heritage Item, consideration must be given to the potential impact of that development on the Heritage Item.

Objectives

- O1** To ensure infill or new development respects the character of an adjoining, adjacent or nearby Heritage Item or Heritage Conservation Area;
- O2** To encourage simple roof forms consistent with maintaining the context of Heritage Items and Heritage Conservation Areas;
- O3** To ensure that new development, or additions and alterations to existing development reflect the scale, height, proportion, and setbacks of adjoining Heritage Items or the Heritage Conservation Areas;
- O4** To conserve and maintain established setbacks of streets on which Heritage Items and Heritage Conservation Areas are located, by ensuring that adjoining developments maintain similar front and side setbacks;
- O5** To ensure that new development, or alterations and additions are located so that they do not impact on the setting, streetscape or views associated with any Heritage Item or item within a Heritage Conservation Area;
- O6** To ensure that the introduction of fencing for new and/or infill development does not detract from the heritage significance of adjoining Heritage Items or Heritage Conservation Areas;



- O7** To ensure that a new development is compatible with and does not overwhelm the Heritage Item or Heritage Conservation Area; and
- O8** To ensure that the bulk, scale, proportion and detailing of facades of new and infill development are compatible with adjoining Heritage Items or Heritage Conservation Area.

Controls

General

- C1** New development in the vicinity, (nearby, adjoining or adjacent) of a Heritage Item or a Heritage Conservation Area must be designed to maintain the setting and the character of the street in which it is located.

Note: A preferred approach is to design new buildings in a contemporary manner, which is sympathetic to the surrounding area, and to the Heritage Item or Heritage Conservation Area to which it is nearby, adjoining or adjacent to.
- C2** New development should be consistent in scale with the Heritage Item or Heritage Conservation Area.

Note: To prevent changes in the scale of development, the building height of the Heritage Item or Heritage Conservation Area should be used as a benchmark for the maximum achievable building height of the proposed new development.
- C3** Parking facilities and driveways must be designed and located so as not to dominate the character of the street.
- C4** The design and siting of new work must compliment the form, orientation, scale and style of a Heritage Item or Conservation Area in the vicinity of the site.
- C5** Adequate space must be provided around the Heritage Item or Heritage Conservation Area in order to maintain significant or historic public domain views to and from the Heritage Item or Heritage Conservation Area.
- C6** Original or significant landscape features that are associated with the Heritage Item or Heritage Conservation Area and which contribute to the setting must be retained.

Design / Form

- C7** New development must adopt the same eave lines, height of floors, stringcourses and rooflines (pitches and eave overhangs) of the Heritage Item or Heritage Conservation Area in the vicinity.

Note: New or infill development must not match the existing Heritage Item, but rather sympathetically interpret the façade elements of the adjoining Heritage Item and the pattern of development within the street.



- C8** The proportion and spacing of door and window openings of new development shall relate to those of adjoining historic buildings.
- C9** The siting of new development shall not affect the structure of, or otherwise cause physical damage to any Heritage Item.

Height

- C10** Notwithstanding the maximum height limit under Bayside LEP 2021, new or infill development shall not exceed the height of an adjoining, adjacent or nearby Heritage Item.
- C11** Where the Heritage Item is single-storey or where buildings in the Heritage Conservation Area are predominantly single-storey, new development must also be single-storey.
- C12** Where a Heritage Item or a majority of buildings in the Heritage Conservation Area are two storey, new or infill development in the vicinity may also be two-storeys.
- C13** Any new development or additions, which have a negative impact on the character of the streetscape or a Heritage Item, will not be permitted.

Colours

- C14** New development shall incorporate the use of colours and materials that are recessive (i.e. not as prominent) so that they do not visually dominate the Heritage Item or a Heritage Conservation Area.

Note: Darker colours and simple façade treatments can assist in minimising the visual impact of new development.

Roof

- C15** The roof shape and materials of new development or existing development shall relate to adjoining or nearby heritage buildings (refer to **Figure 36**).
- C16** New developments that utilise a variety of roof forms such as gabled or hipped roof plans are encouraged.
- C17** Materials and finishes used in the roof plans of new developments should be sympathetic in character to that of the Heritage Item or Heritage Conservation Area.

Landscaping



- C18** New landscaping shall be compatible with the character of surrounding heritage buildings. Planting of indigenous species is required.
- C19** Landscaping must be designed to minimise the visual appearance of new development to reduce its impact of the Heritage Item or Heritage Conservation Area.

Setbacks and Orientation

- C20** New development must be sited to reflect the front and side setbacks and predominant orientation of Heritage Item or Heritage Conservation Area in the Vicinity and the established pattern of setbacks within a street or precinct.

Note: Where there is a variation in the front setbacks within a street, the prevalent pattern of setback along the entire length of the street should be used to determine the appropriate front setback.

- C21** Building encroachments within existing side setbacks defined by existing building lines are not permitted.
- C22** A reduction of front and side setbacks is not permitted for development adjoining a Heritage Item within an R2 Low density Residential zone.
- C23** New buildings or alterations and additions to existing buildings should be orientated to relate to existing Heritage Items and should not be oriented across sites contrary to the established pattern.

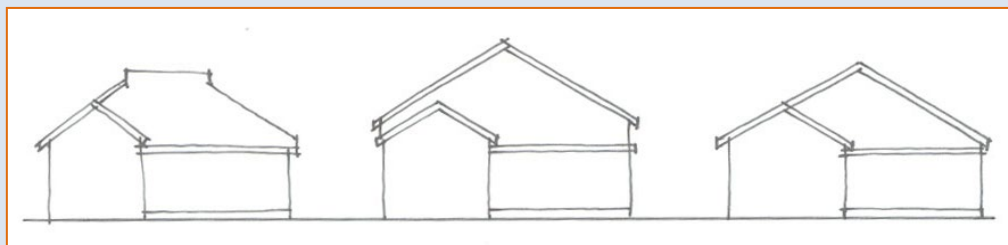
Fences

- C24** Fences and gates for new or infill development should be contemporary, simple and compatible in style and in materials by making reference to adjoining Heritage Items (refer to **Figure 37**).
- C25** All front fences for new or infill buildings shall not exceed a height of 1.2 metres, except where it is to continue an existing pattern of period fences.
- C26** The exact reproduction of traditional fence styles is not permitted for new or infill development.
- C27** Solid metal panel (colorbond / corrugated steel) is not permitted in any type of development which fronts the street.
- C28** Materials, height, colour, texture, design, rhythm of bays and openings should be considered in the design of fencing.
- C29** Where a property or neighbourhood typically did not have front fencing, new fencing should not be introduced.

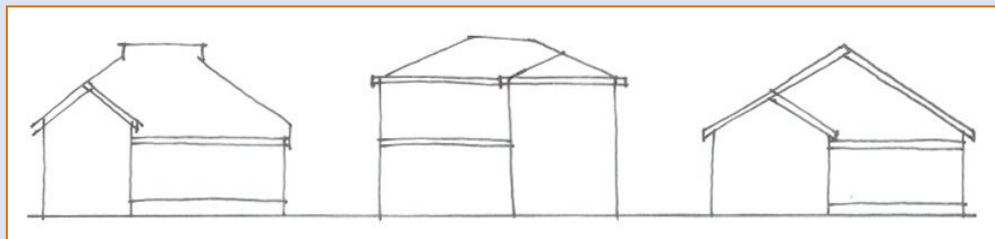
Figure 36 - Roof Profiles of Heritage Items and Items in Heritage Conservation Areas



Above: Buildings maintain a consistent roofline and building height.



Above: New additions should be placed within the roof and eave line of a Heritage Item as this maintains the items scale and conserves the setting.



Above: The two-storey house, located in the middle of the above diagram is not in scale with neighbouring Heritage items. This results in introducing different roof forms and dominates the street.

Figure 37 - Example of a Contemporary Fence Suitable for Use Next to Heritage items

